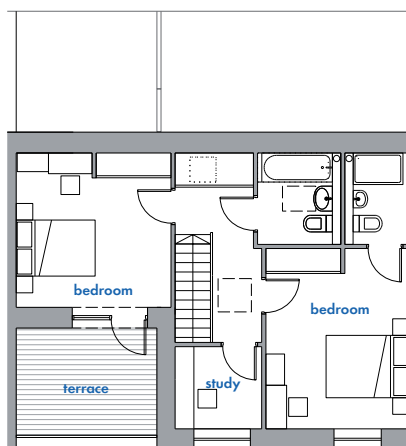


MEWS HOUSES

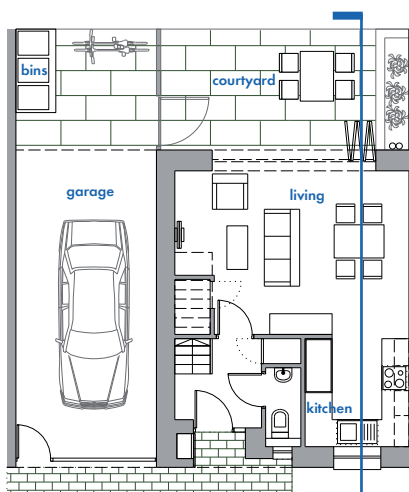
The mews houses are designed in response to their narrow plot depth. The existing buildings that they replace sit directly on the boundary, whereas the mews houses are placed 3m back from the boundary, improving the relationship with the neighbouring gardens and creating a small room-like courtyard.

The integrated garage is open at the back and gated at the front allowing better daylight penetration and offering intriguing glimpses through. This arrangement also allows the garages to serve other purposes, should residents so choose.

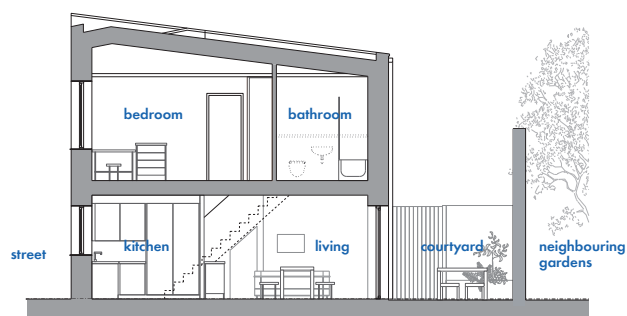
On the first floor, all windows face the street, while roof lights provide daylight at the back. There are no windows overlooking the existing gardens. A terrace facing the street provides further outdoor amenity space.



first floor plan



ground floor plan



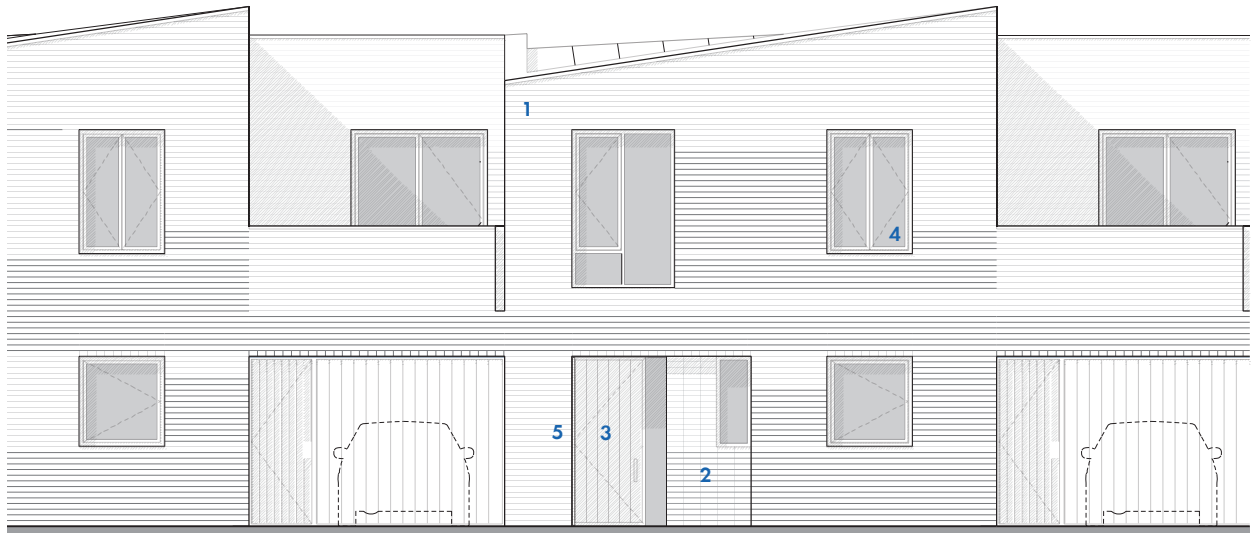
section



Kingston Mews west elevation



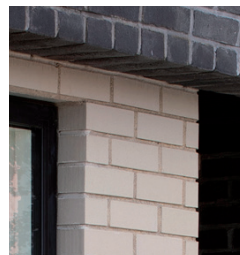
a small paved courtyard serves as an extension to the internal living space



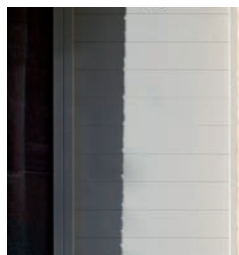
front elevation



1 light grey brick



2 recessed contrasting brick



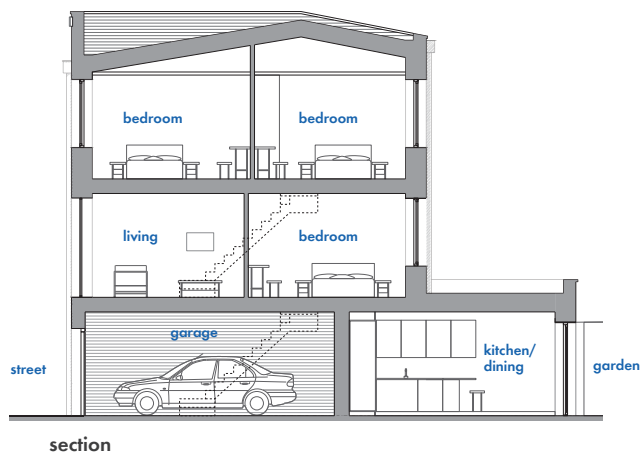
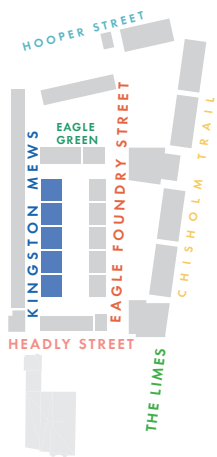
3 composite door



4 aluminium composite windows



5 timber panel

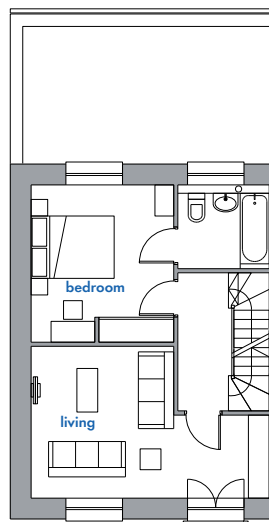


3-BED TOWN HOUSES

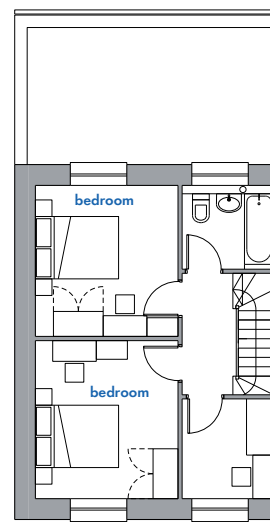
These houses are arranged over three storeys and benefit from 8m long back gardens and integrated garages. A generous kitchen and dining room at ground floor open out to the garden. The first floor - envisaged as a 'piano nobile' - contains the principle reception room with two large windows, one of which is served by a Juliet balcony.

The houses are arranged in pairs. A narrow shared passageway in-between each pair gives access to the rear gardens, which incorporate bin storage and cycle parking.

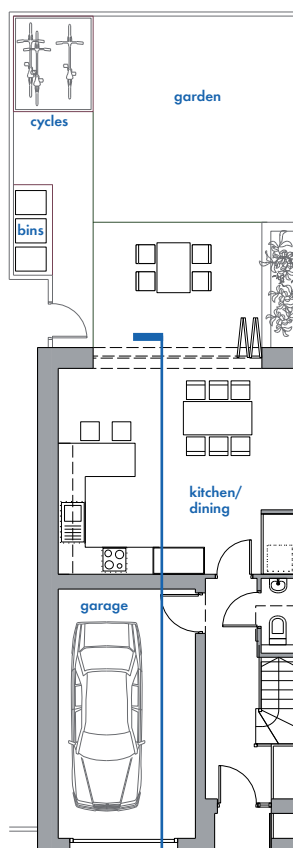
The elevations facing the street are formal in their treatment with large windows placed in a regular arrangement and surmounted by a tall parapeted cornice. Contrasting brick - a paler buff brick and a darker grey brown brick - accentuates the vertical rhythm of the street, further underlined by the rainwater downpipes and gaps in the cornice line. The reveals of the windows are envisaged to be white to provide emphasis when seen obliquely. The white contrasts with dark grey metalwork of the Juliet balconies and helps to enliven the elevations.



first floor plan



second floor plan



ground floor plan



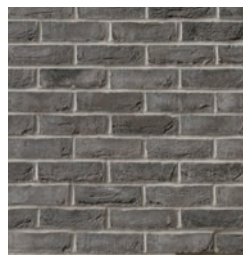
Kingston Mews east elevation



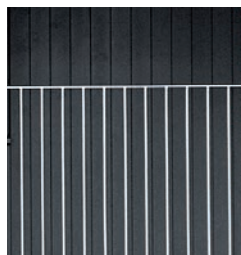
front elevation facing Kingston Mews



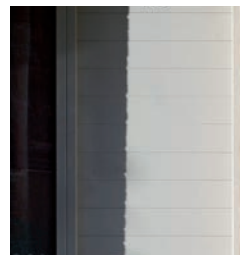
1 buff brick



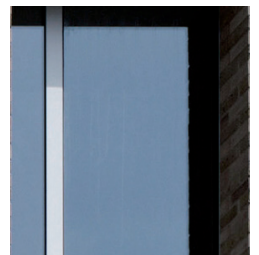
2 dark grey brick



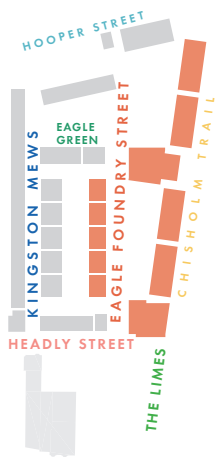
3 metal balustrade



4 composite door



5 aluminium composite windows



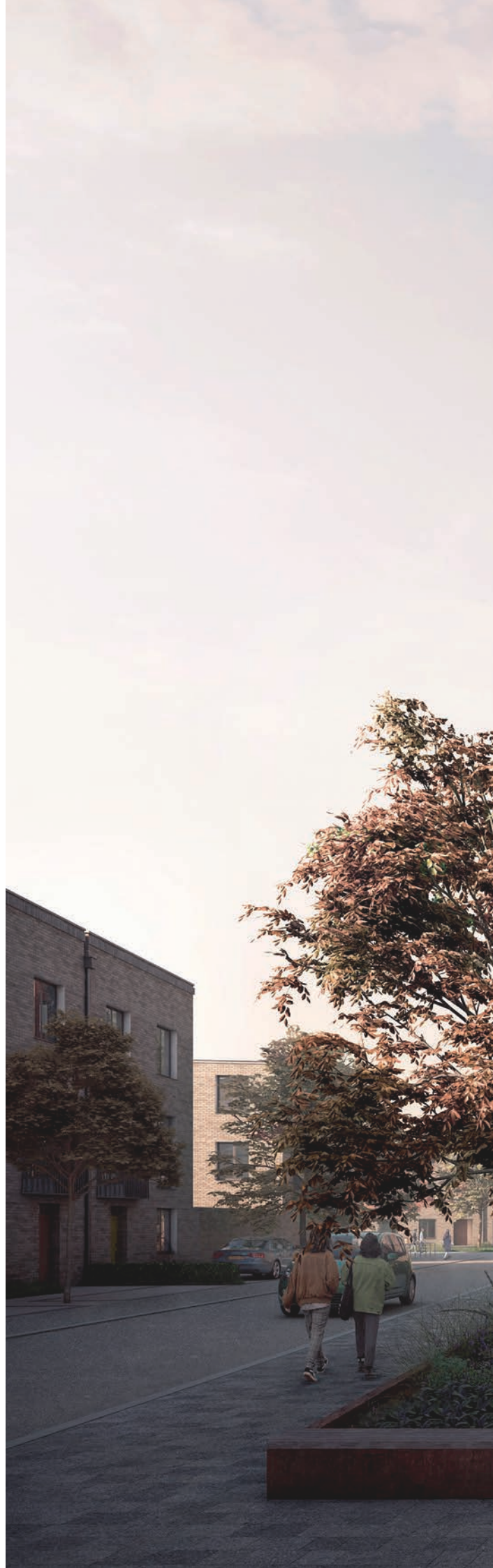
EAGLE FOUNDRY STREET

Eagle Foundry Street marks a change in the scale and character of the proposals, reflecting its location against the railway, furthest away from existing properties. Three storey town houses line the western side of the street, while the east side opens out onto two landscaped open spaces. Fronting on these open spaces are the apartment buildings offering natural surveillance.

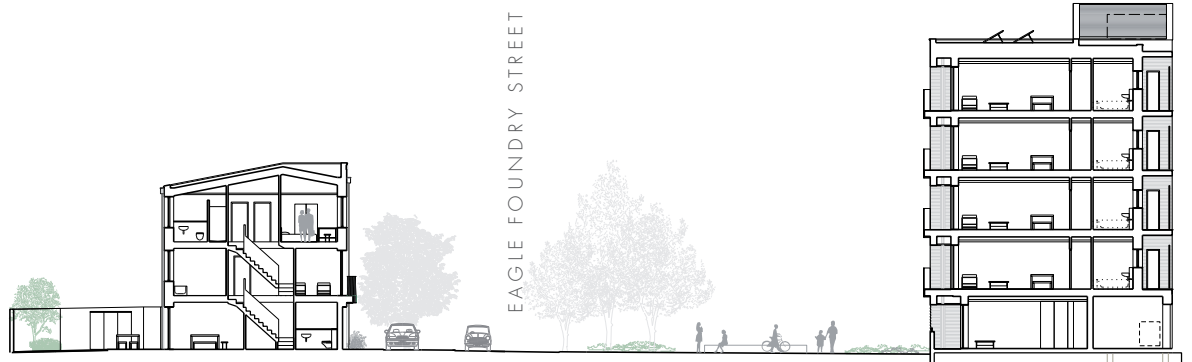
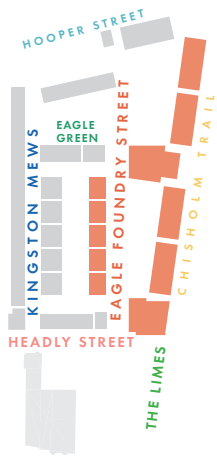
Two taller apartment buildings, Buildings B.02 and B.05 are designed as a pair and are placed at strategic moments in the overall composition of the site creating a formal relationship with the open spaces.

At its northern end, Eagle Foundry Street becomes a paved path that is closed to vehicles and runs through the park to connect with Hooper Street.

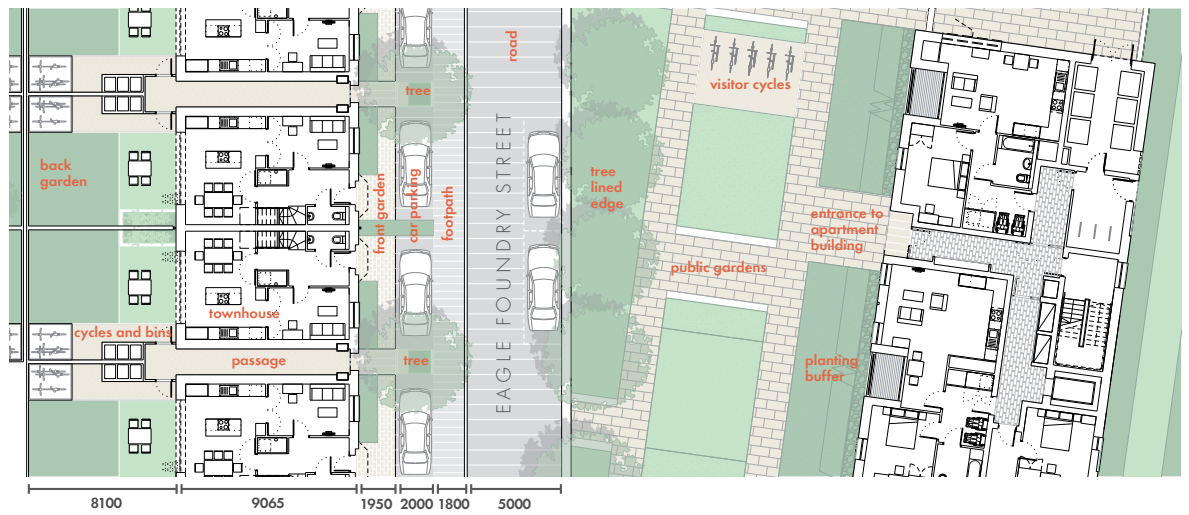
Illustrative view looking north along Eagle Foundry Street







Street section



Street plan



Eagle Foundry Street west elevation facing the public gardens



Illustrative view looking towards Eagle Foundry Street from the public gardens





4-BED TOWN HOUSES

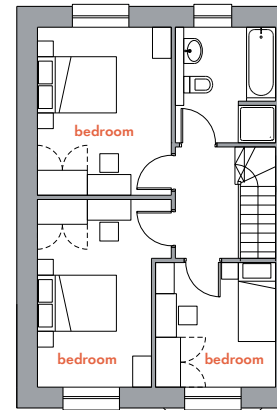
These houses are arranged over three storeys and benefit from 8m long back gardens. Like the houses they back on to, the first floor is envisaged as a piano noble and contains the principal reception rooms.

The houses each benefit from a parallel, on-plot parking space outside their house. A narrow shared passageway in-between each pair of houses gives access to the rear gardens, which incorporate bin storage and cycle parking.

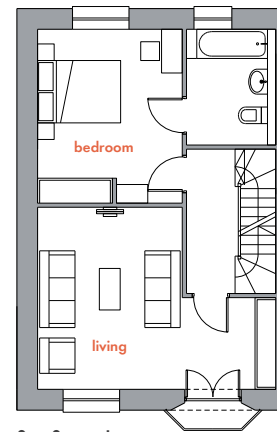
The elevations facing Eagle Foundry Street are precisely composed with large windows placed in a formal arrangement and surmounted by a tall parapeted cornice. At first floor, glazed doors open onto a small balcony. The opening is framed in a feature surround with splayed sides to underline its special role and provide accent to the otherwise restrained elevation. The projecting balcony also serves as a canopy for the front door beneath.



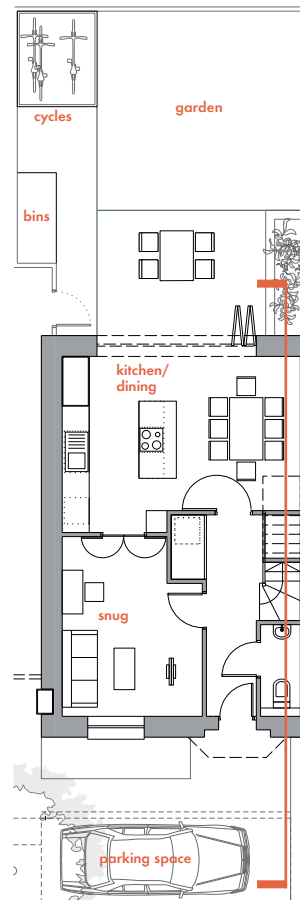
Eagle Foundry Street west elevation



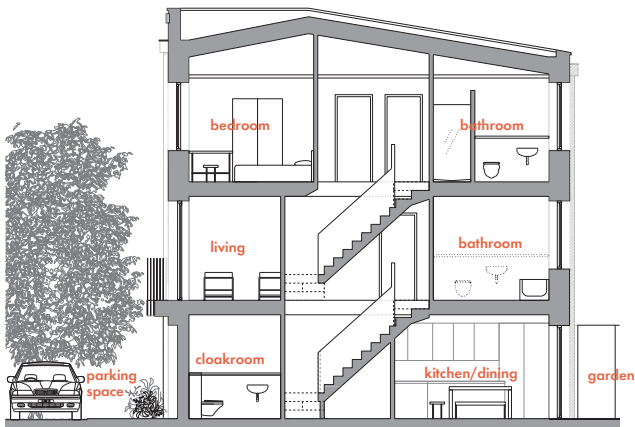
second floor plan



first floor plan



ground floor plan



section



front elevation



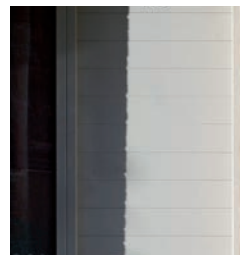
1 buff brick



2 feature window surround



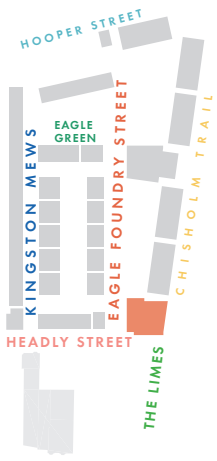
3 metal balustrade



4 composite door



5 aluminium composite windows



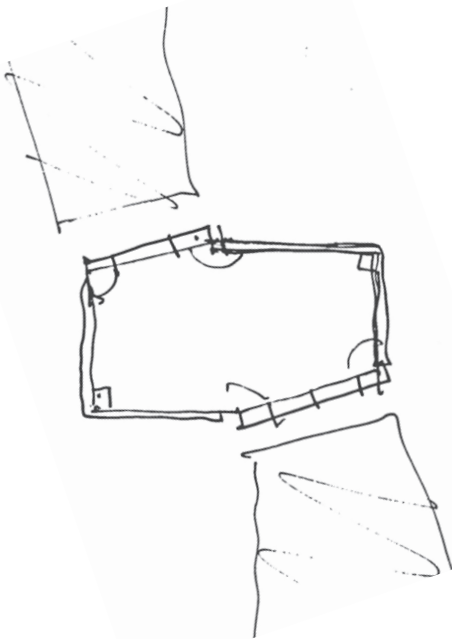
APARTMENT BUILDING B.02 (NO.1 EAGLE FOUNDRY STREET)

Apartment building B.02, on the corner of Headly Street and Eagle Foundry Street, faces the cluster of mature trees immediately to its south and holds the southern edge of the gardens in the heart of the site. It is located in the approximate area identified in the Planning and Development Brief (SPD) as having potential for a taller building.

The building is arranged over six storeys. At 21m tall it relates to the height of the ‘Trees of Heaven’, but is still below the canopy of the tallest trees. When viewed from the bridge the building is screened by the mature sycamore tree that is further back and apart from the main group of trees.

The building incorporates the vehicular entrance to the basement ramp, as well as shared pedestrian and cycle access to the basement level (via a stepped bicycle ramp and cycle lift). These entrances are located at the end of Headly Street behind a brick colonnade, which announces the building entrance and unifies the base of the building. The main residential entrance is located on Eagle Foundry Street and incorporates a projecting canopy.

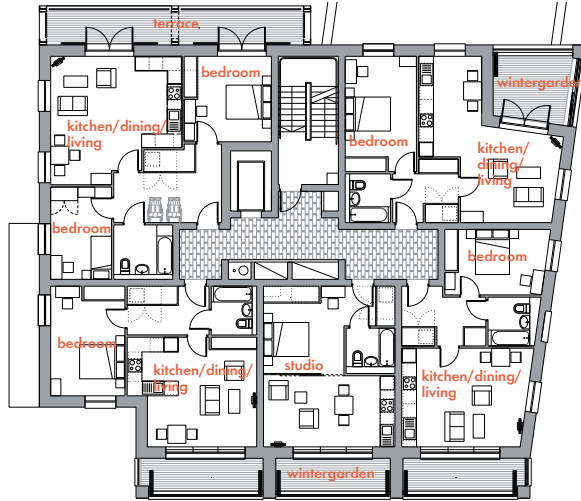
The plan layout is arranged around a central core with five apartments on a typical floor. Some apartments have balconies near the railway, and are therefore subject to higher noise levels. For this reason, these balconies have movable glass screens that can be fully closed to the railway, transforming them into winter gardens.



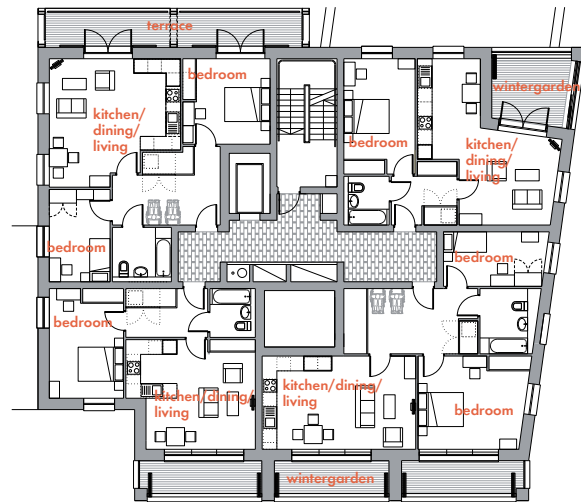
The building faces both south towards the bridge and north along Eagle Foundry Street



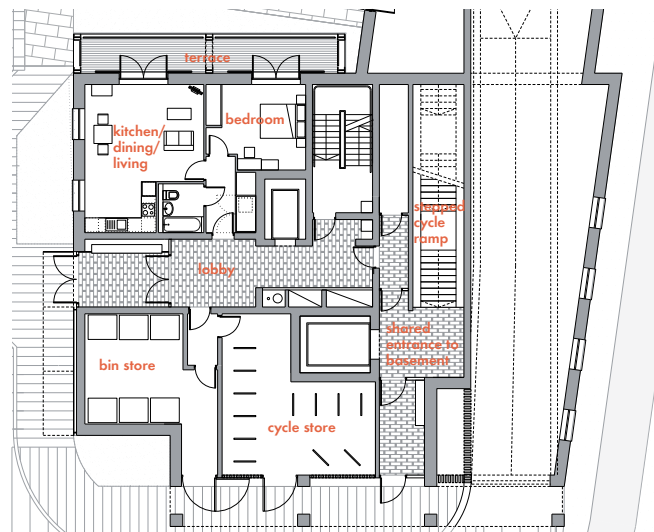
B.02 marks the corner of Headly Street and Eagle Foundry Street



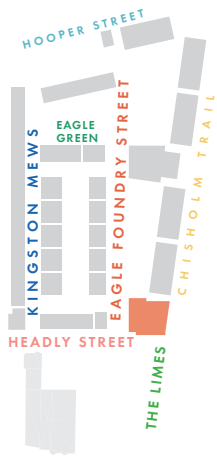
typical floor plan



first floor plan



ground floor plan



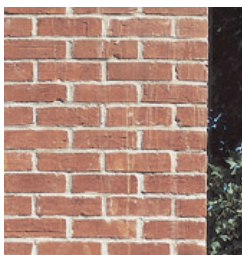
The south elevation of B.02 is composed of a brick frame, while the north elevation holds a framed metal balcony structure that stand proud of the brick. These accommodate the private amenity spaces of the apartments behind. The parapet at the top of the building is raised to give the appearance of a taller top floor that balances the horizontal rhythm of the balconies below, and, more practically, conceals the lift overrun and other plant. Windows with lintels and recesses above further reinforce the vertical emphasis at the top.



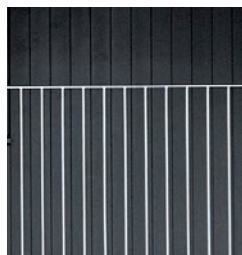
south elevation facing Mill Road Bridge



west elevation on Eagle Foundry Street



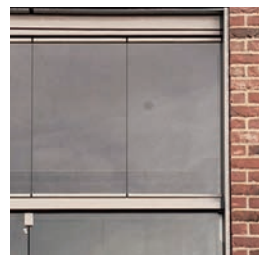
1 red brick



2 metal balustrade



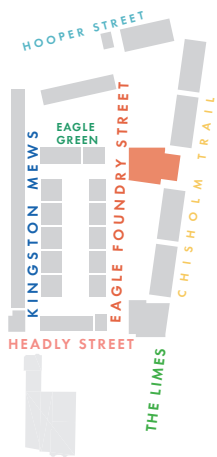
3 aluminium composite windows



4 glass wintergarden



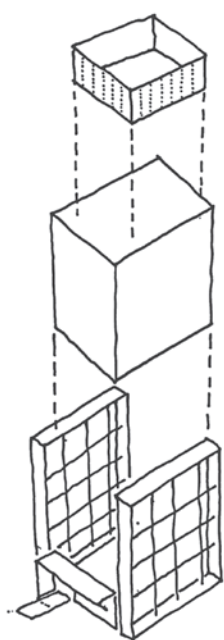
bay study of the south elevation



APARTMENT BUILDING B.05

Apartment building B.05 is the most prominent and distinctive building at the heart of the development. It is placed in-between the two largest open spaces defining the northern edge of one and the southern edge of the other, while also breaking up four linear apartment buildings along the railway.

The building is arranged over five storeys with a set-back rooftop pavilion on the sixth floor. The plan is organised around a central core with six apartments on a typical floor. A subservient four-storey element - also featuring a set-back pavilion - faces the railway, making the most of the site whilst creating a distinct gap between the main north-south elevations and adjacent railway buildings. All apartments benefit from generous balconies, with the exception the two apartments on the top floor which enjoy access to a large linear roof terrace.



The south elevation overlooks public gardens



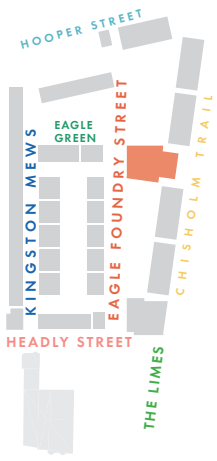
fifth floor plan



typical floor plan



ground floor plan



At ground floor, this building provides one of the two points of shared access to the basement, including a cycle lift. A passageway underneath the building allows access to the shared lift and stair from both the north and south side of the building. The main residential entrance is located on Eagle Foundry Street and incorporates a projecting canopy.

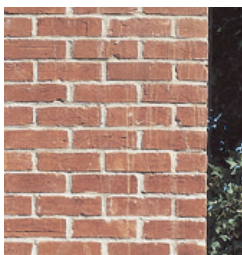
Filigree metal framed balcony structures that stand proud of the brick volume offer a frontispiece to Eagle Park to the north, and the gardens on Eagle Foundry Street to the south. The framing contains generous balconies which contrast with the prevailing brick treatment of the rest of the development. Rich shades of red characterise the main elevations, including red brick, maroon metal framing and balustrading and terracotta tinged metal cladding of the roof pavilion. Silver window frames and metal screens complete the composition.



south elevation facing the public gardens



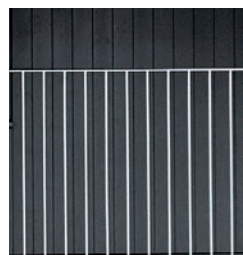
west elevation on Eagle Foundry Street



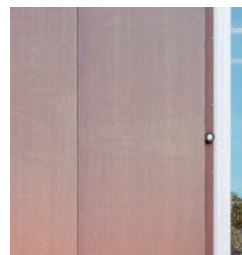
1 red brick



2 metal frame



3 metal balustrade



4 metal cladding



5 aluminium composite windows



south elevation bay study