

HEADLY STREET

Headly Street is the first new street encountered when entering the site from Mill Road. Taking its name from the Headly brothers, owners of the former Eagle Iron Foundry, it runs in an east-west direction terminating at the railway - much like Hooper Street - and forms the southern leg of the network of new streets. The south side of the street comprises the existing Gatehouse and a new building (likely to be the YMCA), both of which are excluded from this application.

At the site entrance, the rich mixture of proposed uses forms a cluster of activity off Mill Road, (potentially including a shop, community uses and the YMCA). This is characteristic of other streets and spaces off Mill Road, where pockets of activity thrive.

On the north side of the street, five houses with gabled fronts form a small group and share a largely consistent scale, materiality and fenestration. The arrangement of houses in groups is characteristic of the surrounding conservation area, sometimes contrasting with the longer continuous frontages they form part of.

The scale of the buildings increases along Headly Street from east to west, as the accommodation transitions from terraced houses to the taller apartment buildings. A three-storey house marks the corner with Eagle Foundry Street, located opposite a taller apartment building at end of the street (Building B.02/No. 1 Eagle Foundry Street). This building is described in more detail later.

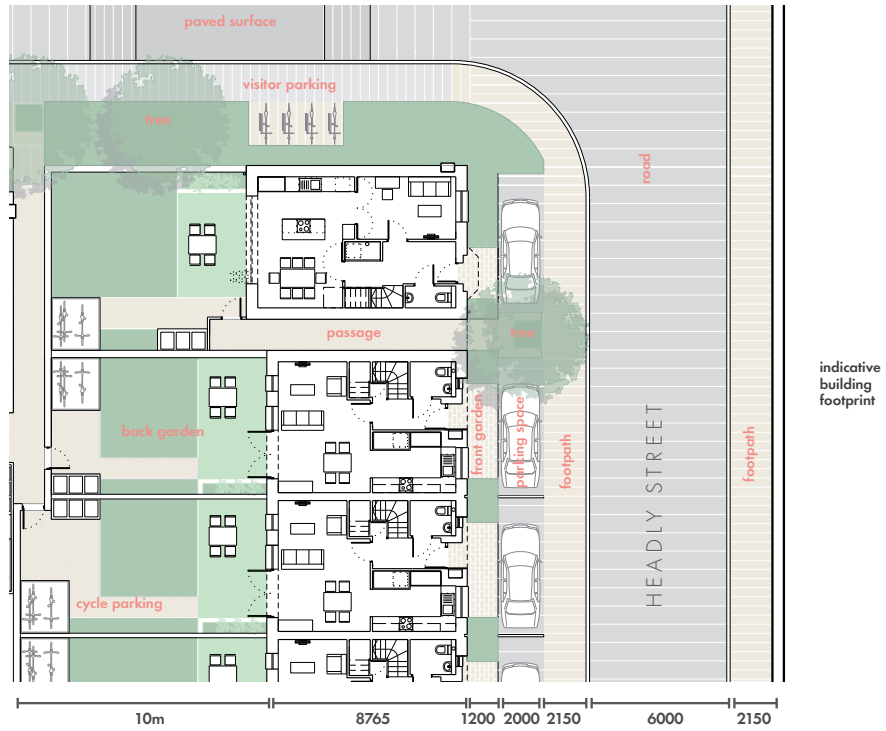
Illustrative view looking east along Headly Street







Street section



Street plan

indicative building footprint



Headly Street elevation



At the site entrance, a mixture of new uses forms a cluster of activity off Mill Road



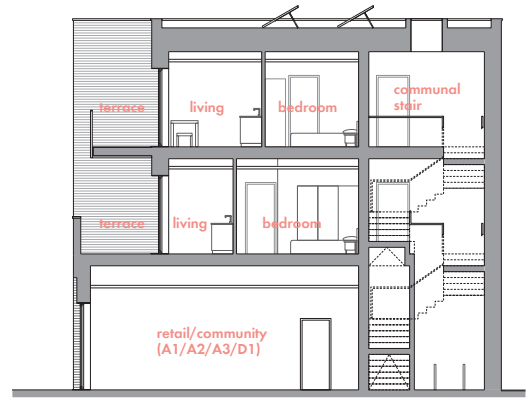


BUILDING B.09 (NO.1 HEADLY STREET)

No. 1 Headly Street addresses the site entrance and despite being set back, is clearly visible from Mill Road. It is proposed as a mixed-use building with retail or community use at ground floor contributing to the rich variety of uses along the Mill Road corridor. Above, there are the two apartments, one per floor.

From a streetscape perspective, the building acts as a marker at the site entrance, sitting alongside the Gatehouse building to frame a small paved space at the corner with the tree-lined Headly Street. Its three-storey massing responds both to its use and its townscape role in this key location. Much like numerous other three-storey buildings in the nearby area, the variation of scale serves to enliven the character of the street.

B.09 is a building of two components: a main volume of three storeys, and lower two-storey component adjacent to the Kingston Street gardens. The placement of windows has been carefully designed to minimise overlooking to neighbouring properties.

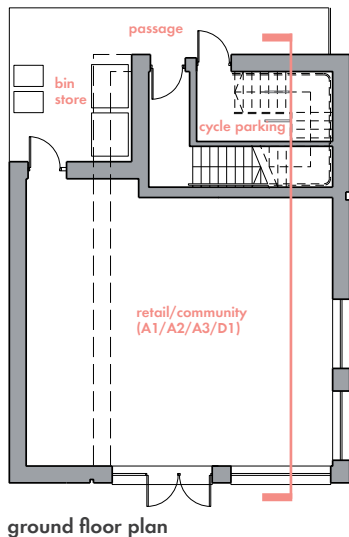


section

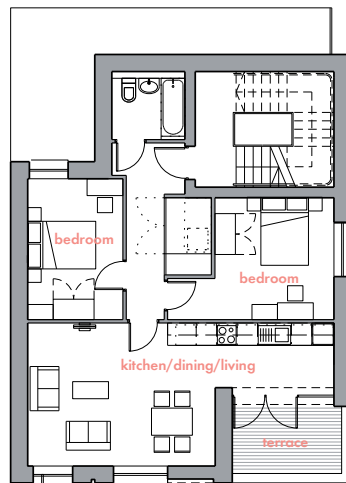
Marking the entrance to the site, B0.9 is one of the few proposed buildings to be faced in red brick to stand out against the prevailing backdrop of gault hues.

The balconies serving the apartment are placed away from the Kingston Street properties to avoid overlooking. They are held within a cut-away corner of contrasting banded brickwork, which accentuates the narrow massing of the three-storey volume.

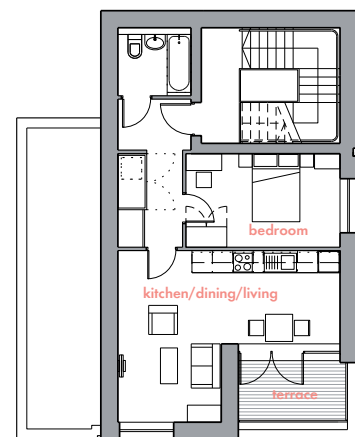
Likewise, the front face of the two-storey component is envisaged as contrasting banded brickwork, serving as a foil to the red brick frontage. There is also an opportunity for this wall - visible from Mill Road - to feature an element of applied signage or decoration.



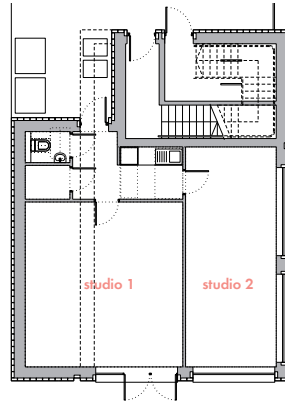
ground floor plan



first floor plan



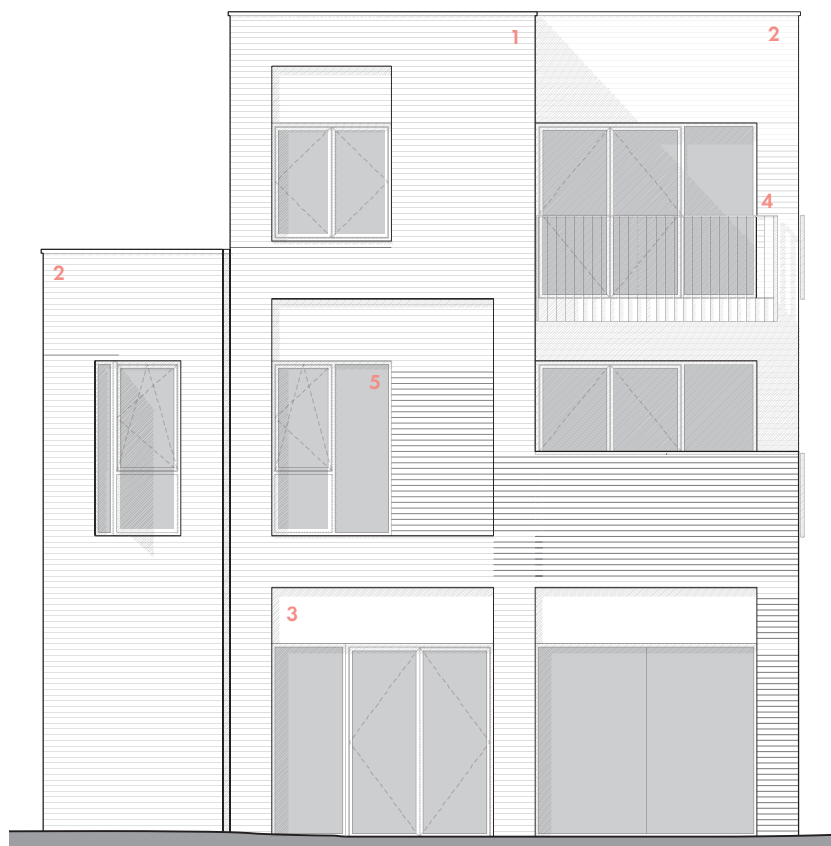
second floor plan



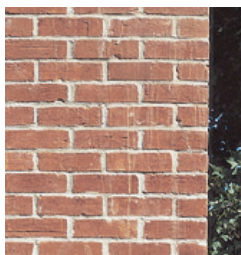
The ground floor of B.09 could also be configured for two occupants with shared facilities



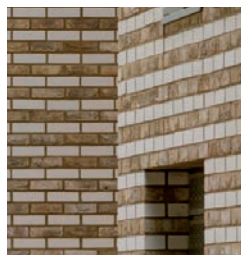
There is an opportunity for the wall visible from Mill Road to feature an element of applied signage or decoration



south elevation



1 red brick



2 contrasting banded brickwork



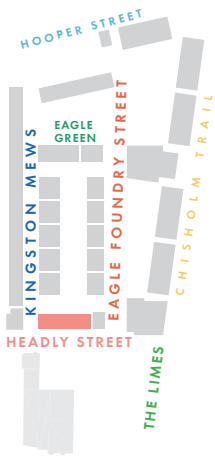
3 metal panel



4 metal balustrade



5 aluminium composite windows

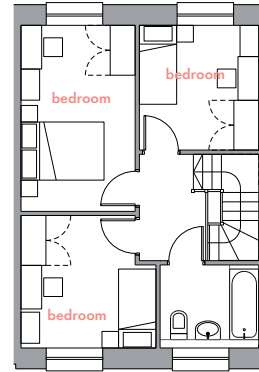


3-BED HOUSES

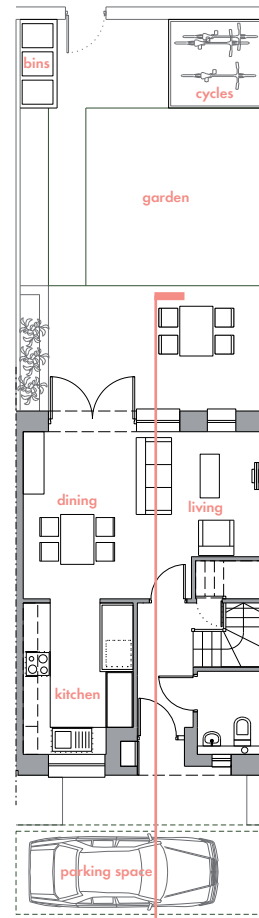
These 3 bed houses are arranged over two floors. They have north-facing gardens, which are longer than other gardens to ensure the gardens receive ample daylight. The two-storey massing helps minimise overshadowing of their back gardens.

The houses each benefit from a parallel, on-plot parking space outside their house. A shared passageway gives access to the back gardens, which incorporate bin storage and cycle parking.

The houses feature gabled facades facing onto the street, which reflects the overarching theme of roof ridge lines running in a north-south direction. This feature also acts as a southern frontispiece to the main block of houses in the centre of the site.



first floor plan



ground floor plan



Headly Street elevation (not to scale)



section



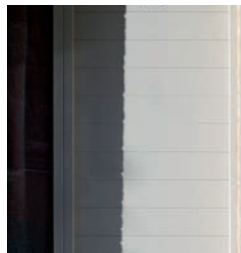
front elevation facing Headly Street



1 buff brick



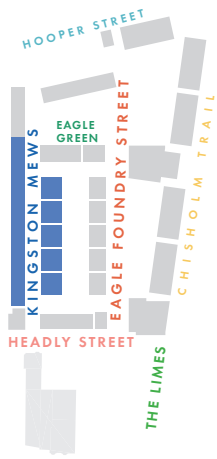
2 recessed contrasting brick



3 composite door



4 aluminium composite windows



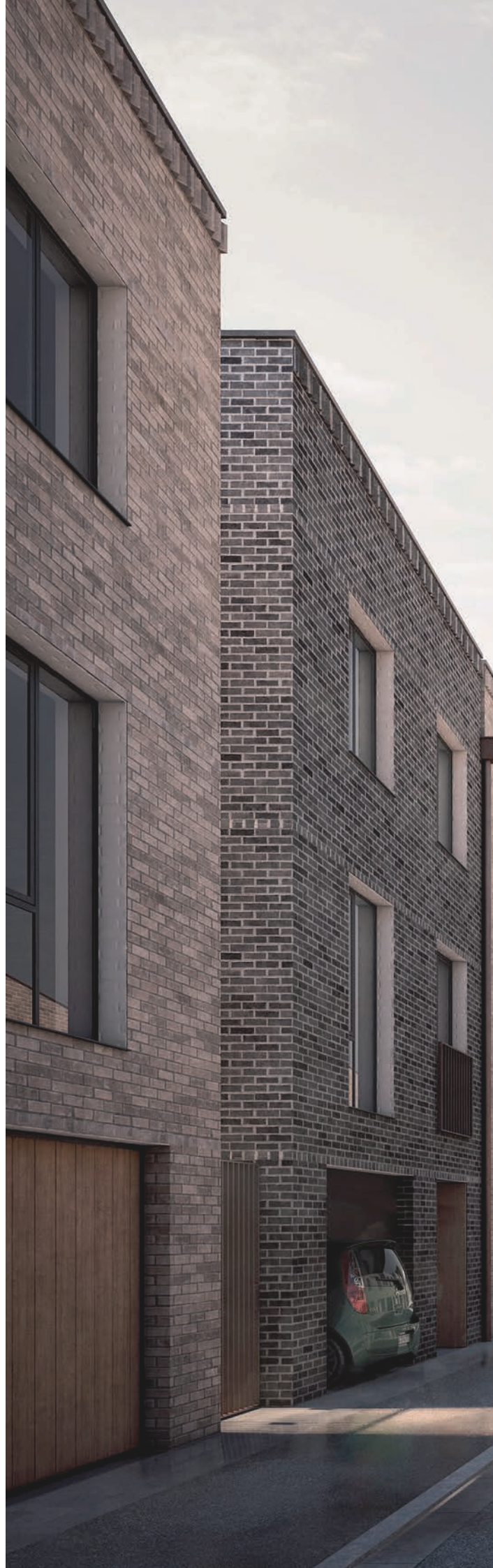
KINGSTON MEWS

Kingston Mews is conceived as a narrow street, at 9.25m it is almost the same width as Kingston Street. The houses sit at the back of the pavement and produce a relatively long line of continuous frontages. This lends Kingston Mews a familiar, but contemporary urban character. Most of the houses are served by garages, which create a mews-like quality.

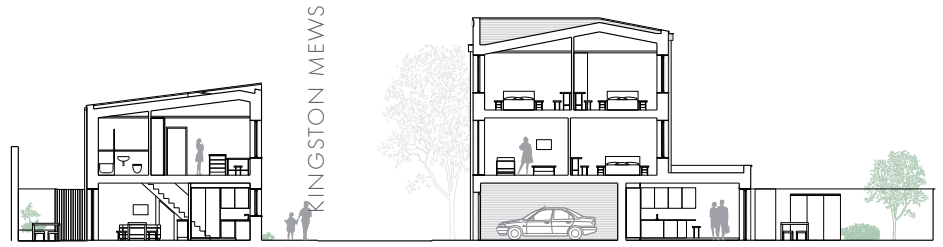
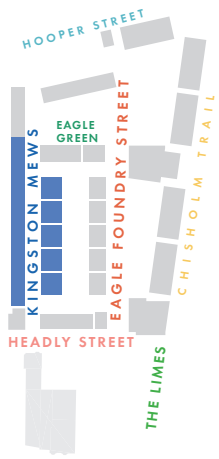
Kingston Mews creates a transition in scale from two-storey mews houses to the three-storey houses. This is accentuated by the forms of the roofs, which gently slope up from their lowest point at the back of the mews houses.

The existing Gatehouse acts as a focal point at the southern end of the mews, while at the northern end trees screen the garage site beyond.

Illustrative view looking south along Kingston Mews towards the Gatehouse







Street section



Street plan



Kingston Mews east elevation with contrasting brickwork



View along Eagle Green towards the mews houses

